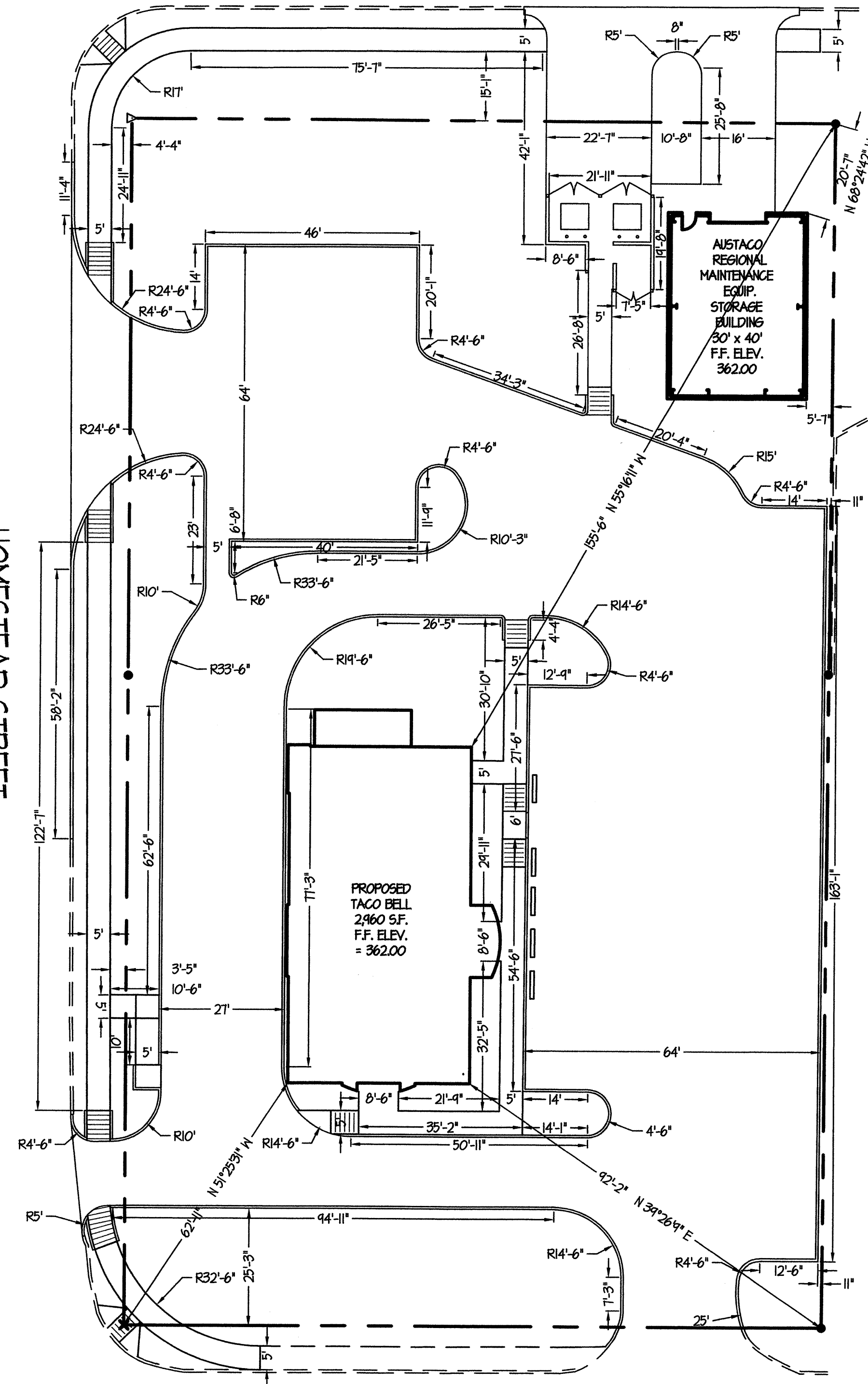


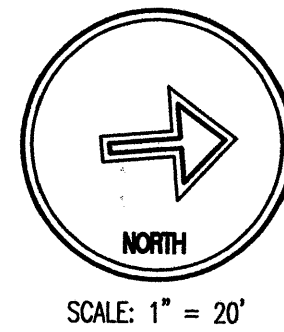
WASHINGTON AVENUE
(80' R.O.W.)

HOMESTEAD STREET



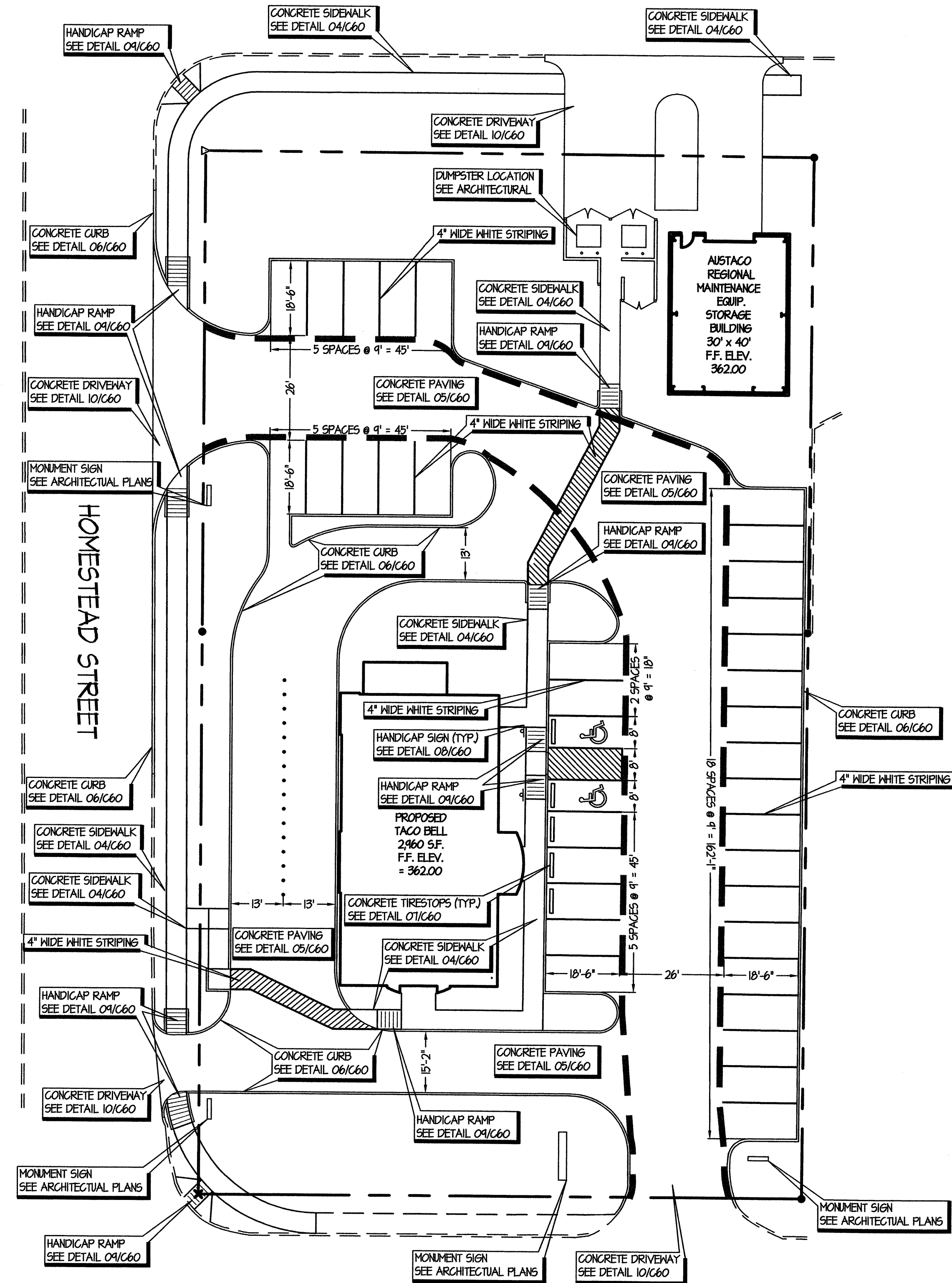
TEXAS AVENUE
(100' R.O.W.)

NOTE:
ALL DIMENSIONS ARE TO BACK OF CURB
UNLESS OTHERWISE NOTED.



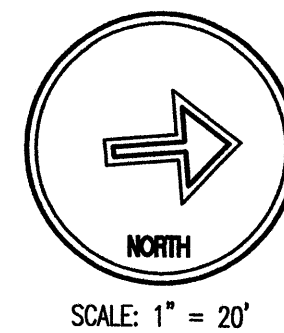
SCALE: 1" = 20'

WASHINGTON AVENUE
(80' R.O.W.)



TEXAS AVENUE
(100' R.O.W.)

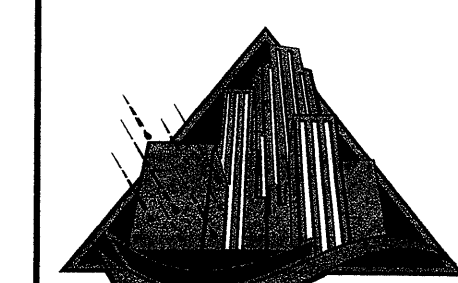
NOTES:
1. FIRELANE STRIPING TO BE 6" WIDE RED PAINT WITH "FIRE NO PARKING" IN
4" TALL WHITE LETTERS. WORDING MAY NOT BE SPACED MORE THAN 30 FEET
APART. STRIPING TO BE PAINTED ON FACE OF CURB WHEN PRESENT AND
PAINTED FLAT ON PARKING SURFACE WHEN IT IS NOT.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



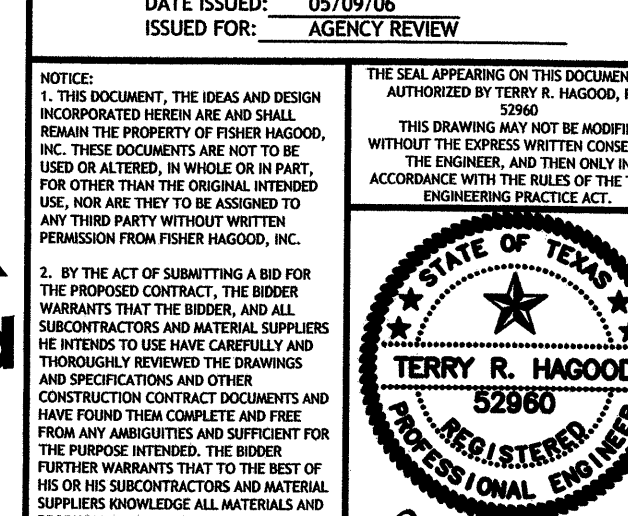
SCALE: 1" = 20'

DIMENSION CONTROL & PAVING SITE PLAN

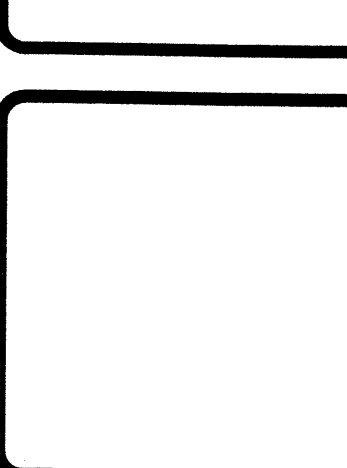
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN
REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



One Glenview Trail, Suite 1200
Round Rock, TX 78664
Phone (512) 244-5446 Fax (512) 244-5446



HOOVER & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
4105 Medical Parkway, Suite 201
Austin, TX. 78756
512/467-2626
FAX 512/467-2655



CONTRACTORS SHALL VERIFY ALL
CONDITIONS AND DIMENSIONS
AT THE JOB SITE AND NOTIFY
THE ENGINEER OF ANY DISCREPANCIES
BEFORE BEGINNING CONSTRUCTION.
DO NOT SCALE THESE DRAWINGS.

TACO BELL
920 S. TEXAS AVENUE
BRYAN, TX 77803

SP06-26

REVISIONS	DATE

PROJECT NO. 25120
CAD FILE 25120C31
DRAWN BY CMB
CHECKED BY TRH
DATE: 05/09/06
SCALE: AS NOTED

C31

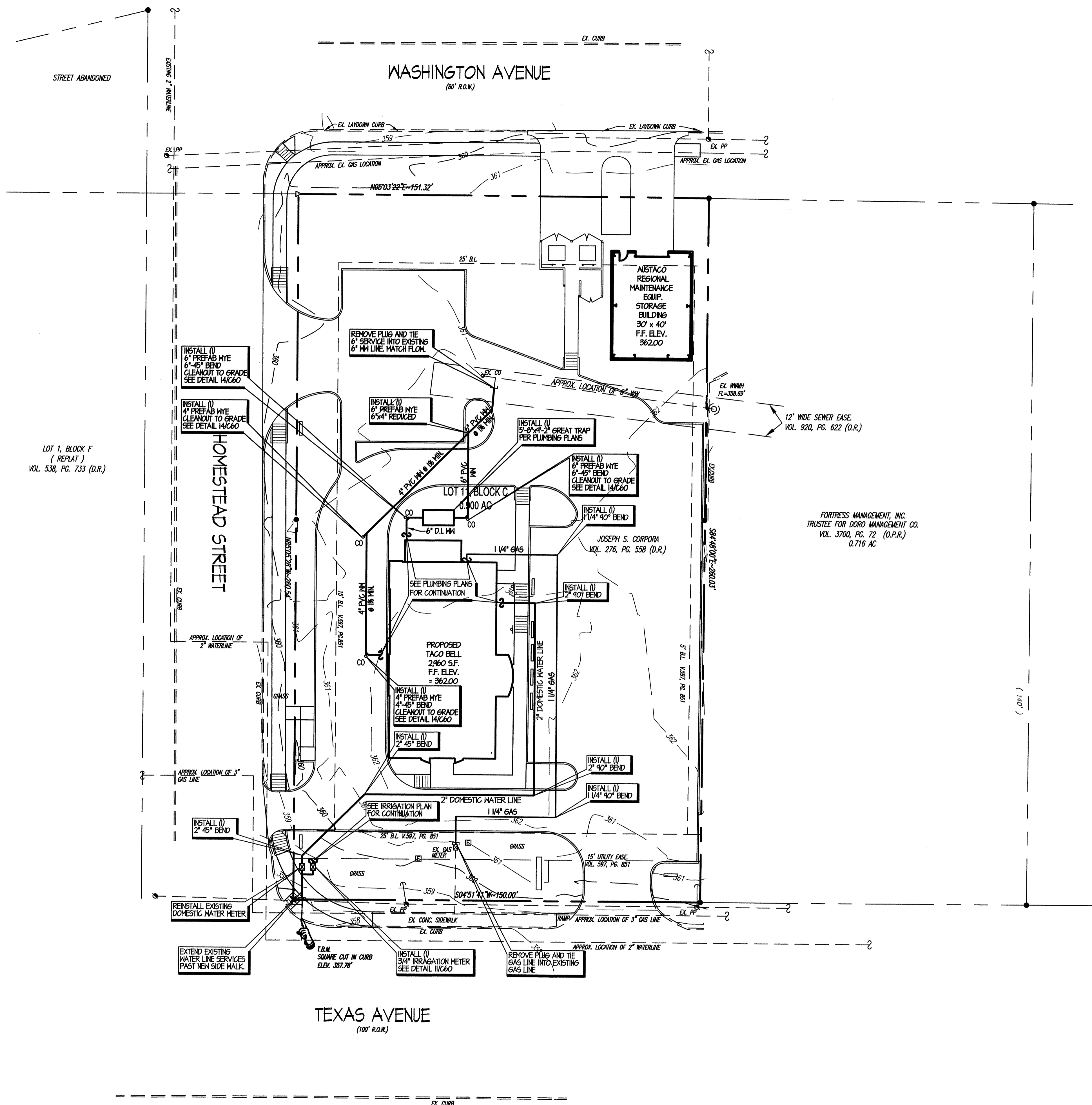
DWG 5 OF 9

01 **DIMENSION CONTROL PLAN**

1" = 20'

02 **PAVING SITE PLAN**

1" = 20'



CONTRACTOR TO VERIFY LOCATION
AND DEPTH OF ALL EXISTING
UTILITIES PRIOR TO CONSTRUCTION.

UTILITIES:
GAS:
ATMOS ENERGY
(979)714-2506
ELECTRIC:
BRYAN TEXAS UTILITIES
(979)821-5100
WATER / WASTEWATER
CITY OF BRYAN
(979)204-5400



SCALE: 1" = 20'

HOOVER & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
4105 Medical Parkway, Suite 201 Austin, TX. 78756
512/467-2626
FAX 512/467-2655

CONTRACTORS SHALL VERIFY ALL
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AT THE JOB SITE AND NOTIFY
THE ENGINEER OF ANY DISCREPANCIES
BEFORE BEGINNING WORK.
DISCREPANCIES SHALL BE
NOTED ON THE DRAWINGS AND
DO NOT SCALE THESE DRAWINGS.

TACO BELL
920 S. TEXAS AVENUE
BRYAN, TX 77803

5P06-26

REVISIONS DATE

PROJECT NO. 25120
CAD FILE 25120C51
DRAWN BY CMH
CHECKED BY TRH
DATE: 05/09/06
SCALE: AS NOTED

C51

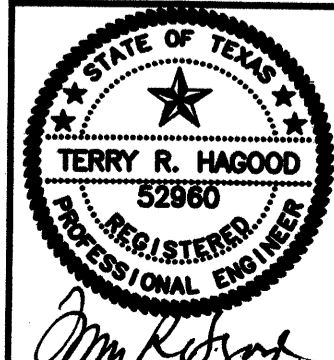
DWG 7 OF 9

UTILITY SITE PLAN

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN
REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.



DATE ISSUED: 05/09/06
ISSUED FOR: AGENCY REVIEW
NOTICE: 1. THIS DOCUMENT, THE IDEAS AND DESIGN
INCORPORATED HEREIN ARE AND SHALL
REMAIN THE PROPERTY OF FISHER HAGOOD, P.C.
THESE DOCUMENTS ARE NOT TO BE
USED OR ALTERED, IN WHOLE OR IN PART,
FOR OTHER THAN THE ORIGINAL INTENDED
USE. NO PART IS TO BE ASSIGNED TO
ANY THIRD PARTY WITHOUT WRITTEN
PERMISSION FROM FISHER HAGOOD, INC.
2. BY THE ACT OF SUBMITTING A BID FOR
THE PROPOSED CONTRACT, THE BIDDER
WARRANTS THAT THE BIDDING, AND ALL
SUBCONTRACTORS AND MATERIAL SUPPLIERS
HE INTENDS TO USE HAVE CAREFULLY AND
THOROUGHLY REVIEWED THE DRAWINGS
AND SPECIFICATIONS AND OTHER
CONSTRUCTION CONTRACT DOCUMENTS AND
HAVE FOUND THEM COMPLETE AND FREE
FROM ANY AMBIGUITIES AND CONFLICTS FOR
THE PURPOSE INTENDED. THE BIDDER
FURTHER WARRANTS THAT TO THE BEST OF
HIS OR HIS SUBCONTRACTORS AND MATERIAL
SUPPLIERS KNOWLEDGE ALL MATERIALS AND
PRODUCTS SPECIFIED OR INDICATED HEREIN
ARE ACCEPTABLE FOR ALL APPLICABLE
CODES AND AUTHORITIES.



Joe No. 25120 © 2006 FISHER HAGOOD, INC.

GENERAL LANDSCAPE NOTES

All proposed landscaping is to be installed as per local vity ordinances and codes.

Existing trees to be saved shall be protected by tree protective fencing before construction begins. (REFER TO CIVIL PLANS FOR DETAILS). No equipment or materials shall be stored, operated or maintained within the fenced area. Fences shall be at the dripline and completely surround the tree or cluster of trees. No fires or cleaning of equipment trucks will be allowed in these areas.

Irrigation shall be by automated underground system to be installed prior to planting. Large open spaces will have spray or rotary nozzles. Piping that extends into the critical root zone of existing trees shall be hand dug.

All landscaping, replacement, screening, buffering, street yard, and all other revegetated areas shall have adequate irrigation provided to sustain growth.

Landscaping to be maintained and replaced as required to meet ordinance requirements.

Owner may take reasonable substitutions of equivalent trees for those species shown on the landscape plan tree legend. Additionally, the owner may elect to provide plant material above and beyond the materials shown on this plan.

All areas of native vegetation beyond the limits of construction shall be left undisturbed.

Landscaping shall be protected by concrete curbing, curb stops or equivalent barriers in vehicular use areas.

All required landscape planting areas shall be a minimum 100 s.f.

GENERAL IRRIGATION NOTES

Adjustable flow controls shall be required on circuit remote control valves. Pressure regulation components shall be required where static pressure exceeds manufacturers recommended operation range.

Valves and circuits shall be separated based on water use so that turf areas are watered separately from shrub and groundcover areas. Irrigation heads in the turf areas will be valved separately from shrub and/or groundcover areas. It is recommended that seasonal color areas be watered separately from turf areas.

Sprinkler heads shall have matched precipitation rates within each control valve circuit.

Serviceable check valves shall be required adjacent to paved areas where elevation differences may cause low head drainage.

Sprinkler head spacing shall be designed for head-to-head coverage or heads shall be spaced per manufacturers recommendations and adjusted for prevailing winds. The system shall be designed so that irrigation is not applied to vehicular traffic lanes, other pavement or structures.

All automatic irrigation systems shall be equipped with a controller capable of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capacity of being at to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shut-off device.

All mainline piping shall be buried to have a minimum cover of 18". All lateral piping downstream of the main line shall be buried to have a minimum cover of 12".

All mains are to drain to low points at a minimum of one half (1/2) percent slope. At low points, install gate valve to facilitate drainage of system during freezing temperatures.

Contractor shall install automatic drain valves at low points in the irrigation lines as required to prevent freeze damage.

All valve boxes shall be black in color (body and lid). Sizes shall be ten (10") inches by fourteen (14") inches (rectangular) for remote control valves and nine (9") inches (round) for gate and quick coupler valves.

Contractor shall insure positive drainage of lateral lines and main lines.

All wiring from the irrigation controller to the remote control valves shall be UF-14/1 direct burial cable. All wire splices shall be made in valve boxes only using Rainbird snap-tite connectors and sealant. Provide sleeves for wire under paved areas as required.

All irrigation installation shall conform to the local codes and regulations.

Irrigation systems shall be installed and fully operational before landscaping installation.

Irrigation heads shall be placed and sized so as not to be susceptible to damage by automobile overhangs.

LEGEND

TREES



LIVE OAK - 3" CALIPER



CREPE MYRTLE - 6'-0" TALL



YAUPON HOLLY - 6'-0" TALL

SHRUB



DWARF BUFORD HOLLY - 5 GA.



LORAPETALUM - 3 GA.



COMPACT NANDINA - 3 GA.



YAUPON HOLLY - 3 GA.



AUTUMN SAGE - 1 GA.



IRIS - 5 GA.



CAROLINE JASMINE 5 GA.



LANTAME PURPLE - 1 GA.

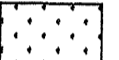


SAGO PALM - 10 GA.



BOULDER

GROUND COVER



TURF - BERMUDA SOD

LANDSCAPE CALCULATIONS

260'-6" x 151'-4" = 39,421 S.F.

39,421 S.F. x 8% LANDSCAPE REQUIREMENT (PER SOUTH COLLEGE BUSINESS DISTRICT OVERLAY) = 3,154 S.F. LANDSCAPING CREDIT

TREES

NOT LESS THAN 50% OF LANDSCAPE CREDIT REQUIREMENT SHALL BE PLANTED IN TREES - HALF OF WHICH SHALL BE CANOPY TREES

15,717 S.F. LANDSCAPE CREDIT SHALL BE TREES OF WHICH 789 S.F. CREDIT SHALL BE CANOPY TREES

SHRUBS

LESS THAN 2 GALLONS SHALL RECEIVE 5 S.F. LANDSCAPE CREDIT EACH

2 GALLONS - UP TO 15 GALLONS SHALL RECEIVE 10 S.F. LANDSCAPE CREDIT EACH

GRASSES AND GROUNDCOVER

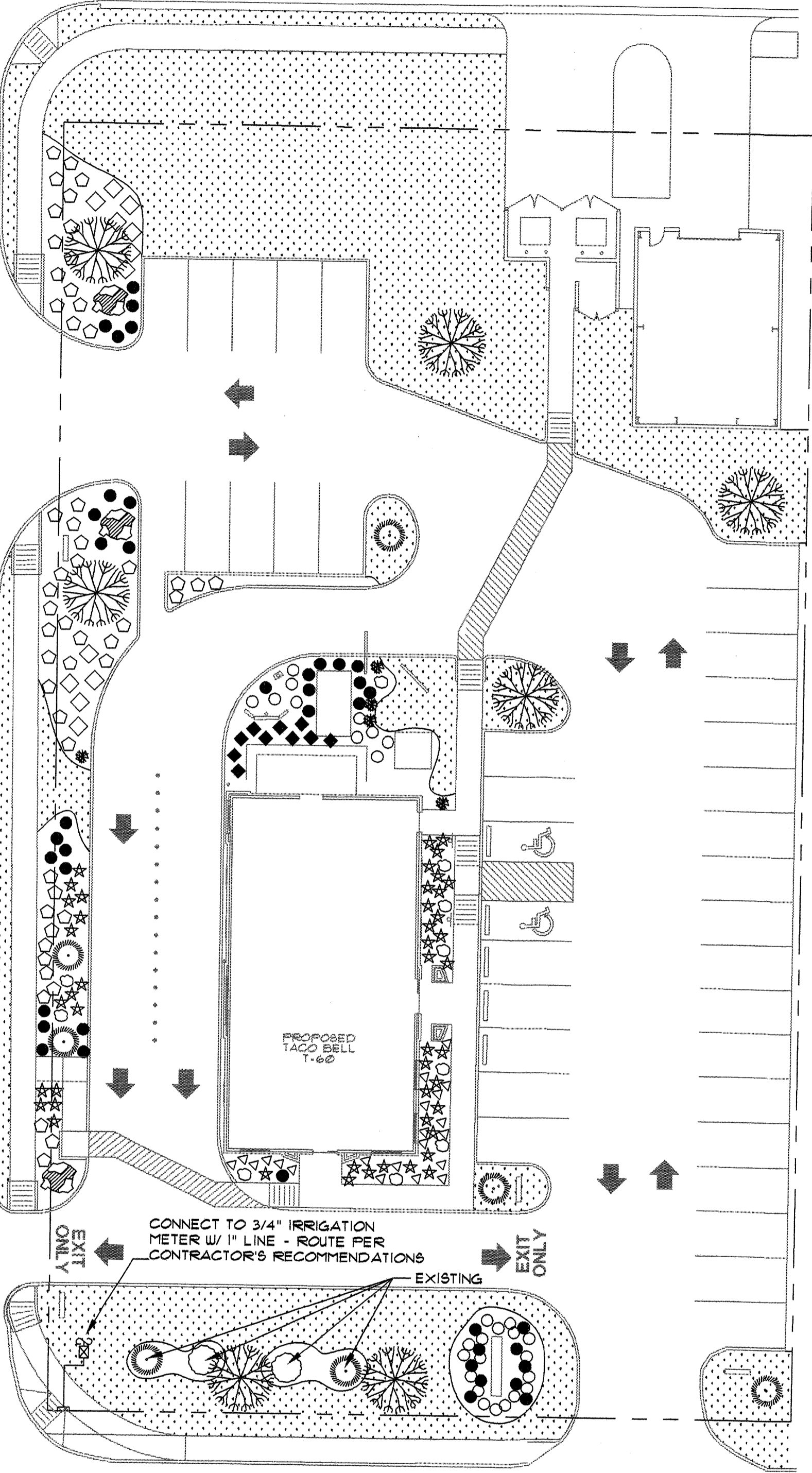
TEN S.F. LANDSCAPE CREDIT WILL BE GRANTED FOR EVERY 100 S.F. OF ACTUAL GRASS OR LIVE GROUNDCOVER. THIS AMOUNT SHALL NOT EXCEED 15% OF THE OVERALL LANDSCAPING REQUIRED.

3,154 TOTAL x 15% = 473 S.F. LANDSCAPE CREDIT (4,730 ACTUAL S.F. OF GRASS OR GROUNDCOVER TO BE USED TOWARDS REQUIREMENT)

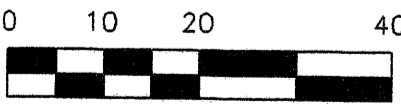
Category	Common Name	Credit per specimen (s.f.)	Quantity	Total credit
Canopy Tree	Live Oak	200	7	1,400 s.f.
Non-canopy Tree	Yaupon Holly	150	2	300 s.f.
Non-canopy Tree	Crepe myrtle	150	7	1,050 s.f.
Shrubbery	Sago Palm	10	10	100 s.f.
Shrubbery	Autumn Sage	5	50	250 s.f.
Shrubbery	Compact Nandina	10	50	500 s.f.
Shrubbery	Lantame Purple	5	40	200 s.f.
Shrubbery	Dwarf Burford Holly	10	21	210 s.f.
Shrubbery	Dwarf Yaupon Holly	10	28	280 s.f.
Shrubbery	Lorapetalum	10	12	120 s.f.
Shrubbery	Caroline Jasmine	10	10	100 s.f.
Shrubbery	Iris	10	5	50 s.f.
Groundcover/Grass	Bermuda sod	10	47	470 s.f.
(note: 10 s.f. of landscape credit equals 100 s.f. actual groundcover)				
Total				5,030 s.f.
Required				3,154 s.f.

HOMESTEAD ST.
2 LANE UNDIVIDED

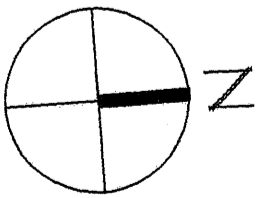
WASHINGTON AVE.
2 LANE UNDIVIDED



TEXAS AVE.
4 LANE UNDIVIDED W/ TURNING LANE



1 LANDSCAPE PLAN
LA1 SCALE: 1" = 20'-0"



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TACO BELL #2310
920 S. TEXAS AVE.
BRYAN, TX 77803

SP006-26

REVISIONS DATE

PROJECT NO. 0529
CAD FILE 0529160CLA1
DRAWN BY WC
CHECKED BY WHH
DATE: 5-1-06
SCALE: AS NOTED

LA1

DWG OF